

HoldenCopley

PREPARE TO BE MOVED

Greenwood Road, Bakersfield, Nottinghamshire NG3 7FY

Guide Price £220,000 - £240,000

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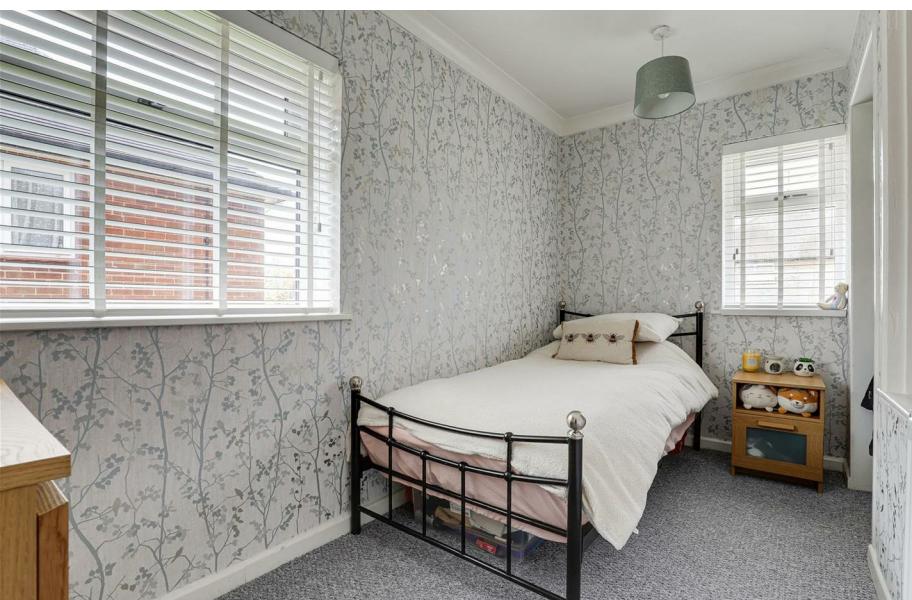
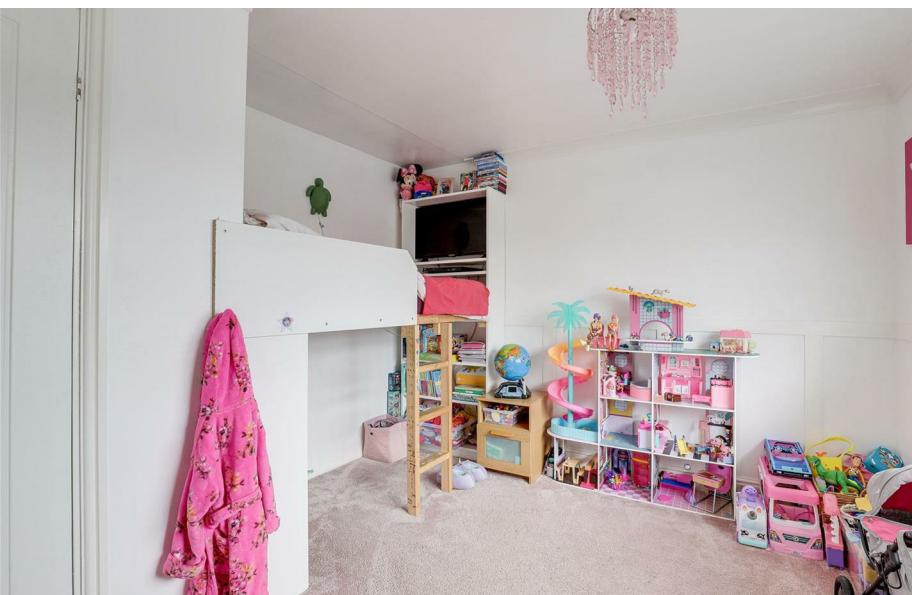
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BEAUTIFULLY-PRESENTED THROUGHOUT...

This renovated three-bedroom semi-detached house offers an immaculate living space tailored for the modern homeowner. From first-time buyers to growing families, this abode presents an irresistible opportunity to move straight into a home that exudes charm and functionality. Nestled in a convenient area, with easy access to local amenities, excellent transport links, and coveted school catchments, it ensures a lifestyle of convenience and connectivity. Welcomed by an inviting entrance hall, the ground floor unfolds into a living room adorned with a captivating log-burning stove, seamlessly transitioning into the open-plan fitted breakfast kitchen. Ascending to the first floor reveals three bedrooms, serviced by a modern bathroom suite. Outside, a driveway at the front offers convenience, with gated access leading to further off-road parking and a garage towards the rear, ensuring ample space for vehicles and storage. The low-maintenance garden provides a serene outdoor retreat, enhanced by a bespoke built bar area with shelter, offering the perfect setting for al fresco entertaining during the summer months.

MUST BE VIEWED





- Semi-Detached House
- Three Bedrooms
- Open Plan Living
- Modern Fitted Breakfast Kitchen
- Ample Storage Space
- Modern Bathroom Suite
- Driveway & Single Garage
- Low Maintenance Garden With Bespoke-Built Bar
- Close To City Centre
- Must Be Viewed





GROUND FLOOR

Entrance Hall

8'8" x 3'3" (2.66m x 1.00m)

The entrance hall has carpeted flooring, a radiator, fitted base cupboard, a UPVC double-glazed obscure window to the front elevation, and a single composite door providing access into the accommodation.

Living Room

23'0" x 10'11" (7.02m x 3.35m)

The living room has a UPVC double-glazed window to the front elevation, coving to the ceiling, a TV point, panelled feature walls, a recessed chimney breast alcove with a log-burning stove and a split-face tile surround, a solid wood beam and a tiled hearth, an exposed beam on the ceiling, open plan to the kitchen, and double French doors with integral blinds opening out to the rear garden.

Kitchen

7'7" x 19'1" (2.33m x 5.82m)

The kitchen has a range of fitted base and wall units with worktops and a fitted breakfast bar, a sink and a half with a movable swan neck mixer tap and drainer, space for a cooker, an angled extractor fan, space and plumbing for a washing machine, space for an American-style fridge freezer, a radiator, panelled feature walls, an in-built under-stair cupboard, a split-face tile splashback, UPVC double-glazed windows with integral blinds to the side and rear elevation, and a single UPVC door with integral blinds providing side access to the bin storage.

FIRST FLOOR

Landing

The landing has carpeted flooring, an in-built cupboard, access to the loft, and provides access to the first floor accommodation.

Bedroom One

10'1" x 11'7" (3.08m x 3.54m)

The first bedroom has a UPVC double-glazed window to the front elevation, carpeted flooring, a radiator, an aerial point, and coving to the ceiling.

Bedroom Two

11'2" x 10'4" (3.41m x 3.15m)

The second bedroom has a UPVC double-glazed window to the rear elevation, carpeted flooring, coving to the ceiling, and a radiator.

Bedroom Three

11'7" x 5'7" (3.55m x 1.72m)

The third bedroom has dual-aspect UPVC double-glazed windows, carpeted flooring, two in-built open cupboards, a radiator, and a panelled feature wall.

Bathroom

6'1" x 7'8" (1.86m x 2.34m)

The bathroom has a low level dual flush W/C, a pedestal wash basin, a panelled bath with a shower fixture and a shower screen, vinyl flooring, a matte black heated towel rail, recessed spotlights, and a UPVC double-glazed obscure window to the rear elevation.

OUTSIDE

Front

To the front of the property is a patio area, courtesy lighting, a driveway and double gated access to the garage towards the rear.

Garage

23'9" x 9'9" (7.24m x 2.98m)

The garage has lighting, fitted units, and an up and over door opening out onto the front driveway.

Rear

To the rear of the property is a private enclosed south-facing garden with a decked seating area, external lighting, steps leading down to an artificial lawn, fence panelled boundaries, and access into a bar area.

Bar

9'5" x 11'4" (2.88m x 3.47m)

This sheltered area has a bespoke built bar and continued artificial lawn.

ADDITIONAL INFORMATION

Broadband – Virgin Media, Openreach

Broadband Speed - Ultrafast 1000 Mbps (Highest available download speed)

220 Mbps (Highest available upload speed)

Phone Signal – Most 3G / 4G / 5G available

Electricity – Mains Supply

Water – Mains Supply

Heating – Gas Central Heating – Connected to Mains Supply

Septic Tank – No

Sewage – Mains Supply

Flood Risk – No flooding in the past 5 years

Very low risk of flooding

Non-Standard Construction – No

Any Legal Restrictions – No

Other Material Issues – No

DISCLAIMER

Council Tax Band Rating - Nottingham City Council - Band A

This information was obtained through the directgov website. HoldenCopley offer no guarantee as to the accuracy of this information, we advise you to make further checks to confirm you are satisfied before entering into any agreement to purchase.

The vendor has advised the following:

Property Tenure is Freehold

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Purchaser information -The Money Laundering, Terrorist Financing and Transfer of Funds(Information on the Payer) Regulations 2017(MLR 2017) came into force on 26 June 2017. HoldenCopley require any successful purchasers proceeding with a property to provide two forms of identification i.e. passport or photocard driving license and a recent utility bill or bank statement. We are also required to obtain proof of funds and provide evidence of where the funds originated from. This evidence will be required prior to HoldenCopley removing a property from the market and instructing solicitors for your purchase.

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Energy Efficiency Rating		Environmental Impact (CO ₂) Rating	
		Current	Potential
Very energy efficient - lower running costs			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	
Very environmentally friendly - lower CO ₂ emissions			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	



FLOORPLAN IS FOR ILLUSTRATIVE PURPOSES ONLY
All measurements walls, doors, windows, fittings and appliances, their sizes and locations are an approximate only.
They cannot be regarded as being a representation by the seller nor their agent and is for identification only. Not to scale.
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